

Leahy Park Fieldhouse Renovation

Bid # 26-21

ADDENDUM No. 2

March 31, 2026

Any and all changes to the Contract Document are valid only if they are included by written addendum to all potential respondents, which will be mailed, emailed and/or faxed prior to the bid due date to all who are known to have received a complete bid document. Each respondent must acknowledge receipt of any addenda by indicating on the Bid Form. Each respondent, by acknowledging receipt of any addenda, is responsible for the contents of the addenda and any changes to the bid proposal therein. Failure to acknowledge receipt of any addenda may cause the bid to be rejected. If any language or figures contained in this addendum are in conflict with the original document, this addendum shall prevail.

This addendum consists of the following:

1. Addendum Number Two (2) is attached and consists of a total of fourteen (14) pages including this cover sheet. Any changes to the drawings or specifications noted within Addendum Number Two (2) will be reflected in subsequent drawing issues.

Please feel free to call (847-866-2910) or email (lithomas@cityofevanston.org) with any questions or comments.

Sincerely,

Linda Thomas
Purchasing Specialist

Leahy Park Fieldhouse Renovation

Bid # 26-21

ADDENDUM No. 2

March 31, 2026

This addendum forms a part of the Specifications and Bid Documents for Bid #26-21 and modifies these documents. This addendum consists of the following:

1. Modification to BASE scope of work related to restroom floors.

1a. Summary:

The previously specified “polished concrete topping” is hereby deleted. In lieu thereof, provide mechanically polished finish of the existing concrete slab.

1b. Revised Scope of Work

Contractor shall:

- Mechanically grind, hone, and polish the existing concrete floor slab to achieve the specified finish.
- Remove surface contaminants, laitance, and minor imperfections through diamond grinding.
- Fill cracks, joints, and surface voids using compatible repair materials.
- Apply concrete densifier and continue polishing to the required grit level.
- Apply protective stain guard/sealer suitable for public restroom use.

1c. Finish Requirements

- Final sheen: Satin finish, achieved with final polishing pass in the 400–800 grit range. High-gloss finishes are not permitted.
- Provide uniform appearance to the extent achievable with existing slab conditions.

1d. Existing Conditions

- Contractor is responsible for field verification of slab condition prior to bidding.
- Variations in color, aggregate exposure, and visible repairs are to be expected and will be accepted as part of the finished surface.

1e. Slip Resistance

- Finished surface shall meet applicable slip resistance standards for wet environments: minimum coefficient of friction (COF) of 0.60 wet (ANSI A326.3 or equivalent).

1f. Protection & Coordination

- Protect adjacent finishes and fixtures during grinding and polishing operations.
- Coordinate work to maintain proper drainage slopes to existing floor drains.

1g. Floor Drain Replacement and Coordination

- Remove existing floor drain(s) and provide new floor drain assembly.
- New floor drain shall be heavy-duty, corrosion-resistant, suitable for public restroom applications, with the following minimum characteristics:
 - Body: Cast iron with protective coating or stainless steel
 - Strainer: Heel-proof, vandal-resistant design (ductile iron or stainless steel)
 - Outlet: Coordinate size and type with existing plumbing (minimum 3" unless noted otherwise)
 - Include trap primer connection where required by code
- Coordinate installation of new drain with concrete grinding and polishing operations, including:
 - Sawcutting and selective removal of existing slab as required to remove and reset drain body
 - Re-pouring and patching of concrete around new drain to match adjacent slab elevation and maintain required slopes
 - Ensuring positive drainage to the drain is maintained or improved
- Grind and polish patched areas to blend with adjacent finished floor; note that some visual variation at drain perimeters is to be expected.
- Set drain grate flush with adjacent finished floor surface.
- Protect new drain assembly during polishing operations and ensure it is free of debris and damage at project completion.

1h. Base at Restroom Perimeter (Revised – Attachment Method Included)

- Provide base at all restroom perimeter walls.
- Base shall be rigid, non-absorbent, and moisture-resistant, suitable for wet, high-use public restroom environments.

Material Options (one of the following):

- Solid PVC or HDPE sanitary board

Configuration:

- Height: 4 inches minimum
- Profile: Straight (non-coved) with slightly eased bottom edge

Installation Requirements:

- Install base tight to wall substrate; do not rely on adhesion to floor.
- Attach base to wall using a combination of continuous adhesive and mechanical fasteners.
 - Adhesive shall be manufacturer-recommended construction adhesive, compatible with PVC/HDPE and wall substrate (FRP over plywood or cement board).
- Mechanical fasteners shall be stainless steel screws spaced 12"–16" on center and driven into solid backing or plywood sheathing (not FRP alone).
- Screws shall be countersunk to allow insertion of color-matched caps or plugs, concealing the screw heads for a clean, uniform appearance.
 - Maintain a continuous gap of 1/8" to 1/4" between bottom of base and finished concrete floor.
- Fill gap with flexible, waterproof sealant (urethane or silicone), tooled smooth to form a clean, continuous joint.
 - Seal top edge of base to FRP wall panels with matching sealant.

Performance Requirements:

- Assembly shall allow for differential movement between wall and floor.
- Provide watertight, cleanable transition at floor line.
- Sealant shall be resistant to cleaning chemicals, moisture, and staining.
- Mechanical fastener caps/plugs shall be securely seated in countersunk holes, flush with the base surface, and color-matched to the base material to minimize visual impact.

1i. High-Performance Protective Topcoat (Polyurethane / Polyaspartic)

Provide a clear, high-performance protective topcoat over the polished concrete floor to enhance resistance to moisture intrusion, staining, and odor absorption in public restroom conditions.

• Materials:

Topcoat shall be one of the following:

- Aliphatic polyurethane floor coating (water- or solvent-borne), or
- Polyaspartic floor coating system

Materials shall be:

- Non-yellowing
- Resistant to chemicals commonly found in restrooms (including urine, cleaning agents, and disinfectants)
- Low permeability to liquids and odors
- Suitable for application over mechanically polished concrete

• Application Requirements:

Contractor shall:

- Apply topcoat after completion of final polishing pass and cleaning of substrate.
- Ensure surface is clean, dry, and free of dust, oils, and polishing residue prior to application.
- Apply in strict accordance with manufacturer's written instructions.
- Apply uniformly to achieve a continuous, pinhole-free film.
- Maintain manufacturer-recommended coverage rates and film thickness.
- Back-roll as required to ensure even distribution and proper penetration/bond.

Number of coats:

- Provide minimum one (1) coat, or more as required to achieve specified performance and uniform coverage.

• Finish Requirements:

- Final appearance shall be satin to low-sheen, consistent with specified polished concrete finish.
- High-gloss finishes are not permitted.
- Topcoat shall not create a visibly thick film or "plastic-like" appearance.
- Maintain as much of the natural appearance of the polished concrete as possible.

• Performance Requirements:

- Provide enhanced resistance to:
 - Liquid penetration and absorption
 - Urine staining and odor retention
 - Cleaning chemicals and disinfectants
- Maintain or improve surface cleanability.
- System shall be suitable for continuous use in wet, high-traffic public restroom environments.

- Slip Resistance:
 - Completed system (polished concrete + topcoat) shall comply with:
 - Minimum COF of 0.60 wet (ANSI A326.3 or equivalent)
 - If required, incorporate manufacturer-approved slip-resistant additives that do not significantly alter appearance.

- Field Quality Control:
 - Perform adhesion testing if required by manufacturer or Architect.
 - Verify uniform coverage and absence of defects including:
 - Bubbling
 - Streaking
 - Delamination
 - Excessive build-up

- Protection & Cure:
 - Protect coated surface from traffic, moisture, and contamination during cure period.
 - Do not open floor to use until full cure is achieved per manufacturer's recommendations.

- Acceptable Manufacturers (or equal):
 - Sika Corporation
 - Sherwin-Williams
 - Euclid Chemical
 - Prosoco

2. Provide ALTERNATE for restroom floors – Urethane Concrete Topping with Precast Cove Base

2a. Summary

In lieu of the polished concrete finish (Section 1a), provide a urethane concrete topping system with integral precast cove base at all restroom perimeter walls.

2b. Basis of Design

- Urethane concrete topping: Ucrete HS24 (or approved equal)
- Precast cove base: factory-fabricated, 4–6" height, compatible with urethane concrete system
- Interface between cove base and wall panels: J-mold trim at the bottom of FRP wall panels

2c. Scope of Work

Contractor shall:

- Prepare existing concrete slab to receive urethane concrete topping, including cleaning, patching cracks, and leveling low spots.
- At door openings where resinous flooring abuts adjacent concrete slab, provide a clean sawcut termination and install a continuous sealant joint at the interface (no threshold).
 - Remove existing concrete as required around the door opening to create a recessed area for the topping.
 - Sawcut a clean line between the existing slab outside the room and the surface receiving the topping.
 - Fill sawcut joint with flexible, waterproof sealant (urethane or silicone), tooled smooth to form a watertight, clean edge.
- Install precast cove base continuously at all restroom perimeter walls.
- Apply urethane concrete topping to entire floor and integrate with cove base to create a seamless transition.
- Install J-mold trim between top of cove base and bottom of FRP wall panels to provide a clean termination and allow differential movement.
- Coordinate installation with floor drains; remove and replace drains as needed, ensuring positive drainage slopes.

2d. Material Requirements

- Urethane Concrete Topping – installation per manufacturer’s specifications
- Manufacturer – Sika Corp or approved equal
 - Jeff Fleming, 773-230-5861, Fleming.jeff@us.sika.com
- MATERIALS – Basis of design (or approved equal)
 - A. PurCem® 24NA Flooring: Description: Three-component, trowelable polyurethane/cementitious concrete floor resurfacer.
 1. Sikafloor Ucrete HS24NA applied at a thickness of 120 mils (3.2 mm) with broadcast
 2. Compressive Strength - ASTM C579: 28 days 6,961psi (48 MPa)
 3. Tensile Strength - ASTM C307 1,290 psi (8.9 MPa)
 4. Flexural Strength - ASTM C580 2,726 psi (18.8 MPa)
 5. Broadcast aggregate to rejection.

6. Color: Gray

B. Sikafloor 264 Pigmented Receiver Coat with flake broadcast.

1. Description: Two-component, 100% solids, epoxy coating to be used as broadcast base coat for the decorative flake.
2. Application Thickness: Apply Sikafloor 264 with pigment at 16 mils with squeegee and backroll. Allow material to level and broadcast to rejection with decorative flake.

C. Grout Coat

1. Description: Sikafloor 219 Clear High UV 100% Solids Epoxy.
2. Application Thickness: Apply 1 coat of Sikafloor 217 at a thickness of 14 mils.
3. Finish Color: As per color chosen by owner and architect.

D. Topcoat

1. Description: Sikafloor 315 Low VOC Abrasion Resistant Aliphatic Urethane Topcoat
2. Application Thickness: Apply 1 coat of Sikafloor 315 at 4 mils
3. Non-Skid: Broadcast aluminum oxide as needed for texture

- Precast Cove Base
 - Material: urethane concrete compatible with topping
 - Height: 4–6"
 - Radius: 3/4"–1" typical
 - Color: matching floor or as selected by Owner
- J-mold Trim
 - Material: corrosion-resistant, suitable for wet conditions
 - Conceals top of cove base and interfaces with FRP panels

2e. Installation Requirements

- Substrate must be clean, sound, and dry.
- Precast cove base shall be installed with both adhesive and concealed mechanical fasteners as required to provide permanent attachment; fasteners may be color-matched caps/plugs.
- Urethane topping shall be installed continuously into the cove base to create a seamless, waterproof joint at floor line.
- J-mold shall be installed at the top of cove base, tight to FRP wall panels, and sealed with flexible, waterproof sealant.
- Maintain continuous gap between floor and cove base bottom as recommended by manufacturer; fill with sealant to prevent moisture infiltration.

2f. Performance Requirements

- Assembly shall be seamless, non-porous, and suitable for high-use public restroom environments.
- Provide watertight, cleanable transition at floor line.
- Finished floor shall resist urine, moisture, and cleaning chemicals.
- Allow for differential movement between walls and floor without cracking or delamination.

2g. Floor Drain Replacement and Coordination

- Remove existing floor drain(s) and provide new floor drain assembly.
- New floor drain shall be heavy-duty, corrosion-resistant, suitable for public restroom applications, with the following minimum characteristics:
 - Body: Cast iron with protective coating or stainless steel
 - Strainer: Heel-proof, vandal-resistant design (ductile iron or stainless steel)
 - Outlet: Coordinate size and type with existing plumbing (minimum 3" unless noted otherwise)
 - Include trap primer connection where required by code
- Coordinate installation of new drain with concrete grinding and polishing operations, including:
 - Sawcutting and selective removal of existing slab as required to remove and reset drain body
 - Re-pouring and patching of concrete around new drain to match adjacent slab elevation and maintain required slopes
 - Ensuring positive drainage to the drain is maintained or improved
- Grind and polish patched areas to blend with adjacent finished floor; note that some visual variation at drain perimeters is to be expected.
- Set drain grate flush with adjacent finished floor surface.
- Protect new drain assembly during polishing operations and ensure it is free of debris and damage at project completion.

2h. Protection & Coordination

- Protect adjacent finishes, fixtures, and new floor drains during topping installation.
- Coordinate work to maintain proper drainage slopes to new or existing drains.
- Ensure final floor and cove base are free of damage, debris, or imperfections at project completion.

3. Drawings updated to note change to restroom floors (3 Pages).

4. Original architectural blueprints provided, for reference only (3 Pages).

Note: Acknowledgment of this Addendum is required in the Bid.

LEAHY PARK FIELDHOUSE RENOVATION

2404 LINCOLN ST, EVANSTON, IL 60201
(BID #26-XX)



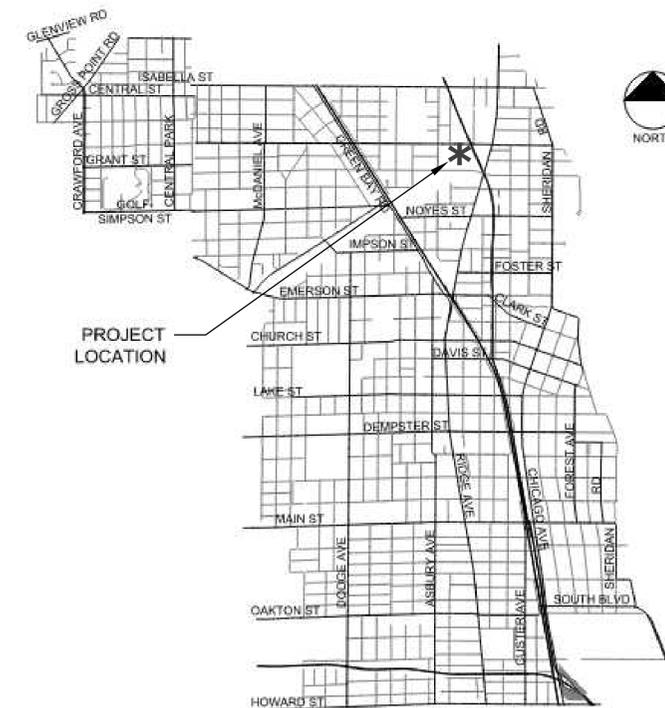
SUMMARY OF WORK

RENOVATION OF EXISTING FIELDHOUSE, INCLUDES INTERIOR REMODELING OF RESTROOMS AND FACADE REPAIR. PROVIDE ALL NECESSARY ARCHITECTURAL, ELECTRICAL, HVAC AND PLUMBING WORK AS NOTED.

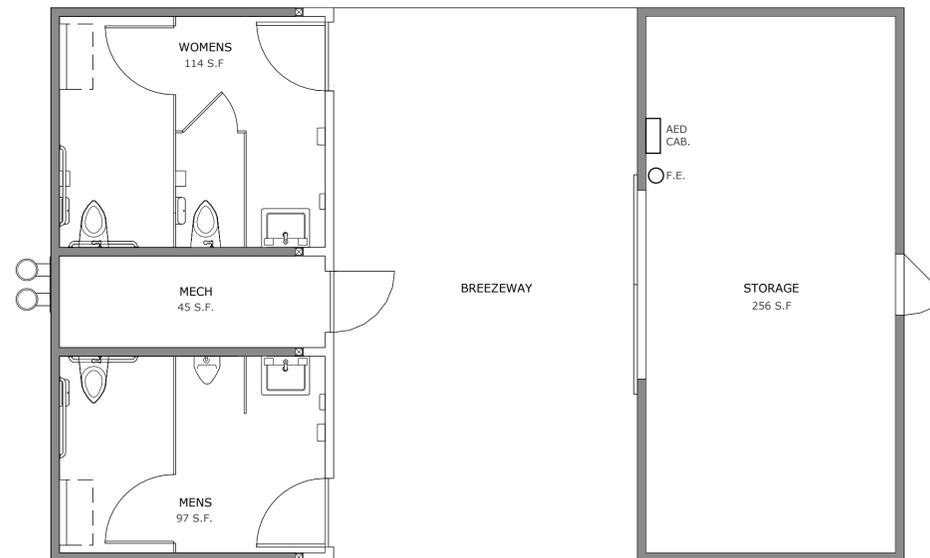
OWNER

CITY OF EVANSTON
PUBLIC WORKS AGENCY
CONTACT: KENON BOEHM
909 DAVIS STREET
EVANSTON, ILLINOIS 60201
224-296-4453 (PHONE)
kboehm@cityofevanston.org

LOCATION MAP



PROJECT DATA		
USE GROUP CLASSIFICATION	B	
CONSTRUCTION TYPE	5-B	
TOTAL FLOOR AREA	520 SF	
EXIT ACCESS TRAVEL DISTANCE	13 FEET	
AUTOMATIC SPRINKLERS	NO	
OCCUPANTS	5	
MAXIMUM HEIGHT	1 STORY	
REQUIRED NUMBER OF EXITS	1	
ACTUAL NUMBER OF EXITS	1	
MINIMUM CORRIDOR WIDTH	N/A	
APPLICABLE BUILDING CODES		
ALL DRAWINGS DEVELOPED TO ADHERE TO THE FOLLOWING NATIONAL & STATE CODES ADOPTED & AMENDED BY THE CITY OF EVANSTON, ILLINOIS.		
2021 International Building Code (IBC) - Local IBC Amendments		
2021 International Existing Building Code (IEBC)		
2021 International Mechanical Code (IMC) - Local IMC Amendments		
2021 International Fuel Gas Code (IFGC) - Local IFGC Amendments		
2020 NFPA 70 National Electric Code (NEC) - NEC Amendments		
2021 NFPA Life Safety Code 101		
2021 International Fire Code (IFC) - IFC Amendments		
Illinois Plumbing Code - Local Plumbing Code Amendments		
2018 Illinois Accessibility Code		
2023 Illinois Stretch Energy Code		
2017 ICC A117.1		
DESIGN CRITERIA		
GROUND SNOW LOAD	25 LB / FT ²	
ULTIMATE WIND DESIGN	117 MPH	
SEISMIC DESIGN CATEGORY	A	
SUBJECT TO DAMAGE FROM:	WEATHERING	SEVERE
	FROST LINE DEPTH	42"
	TERMITE	MODERATE TO SEVERE
WINTER DESIGN TEMPERATURE	-4° F, 97 ½ %	
SUMMER DESIGN TEMPERATURE	89° F Dry Bulb, 2 ½ %	
	76° F Wet Bulb, 2 ½ %	
ICE BARRIER UNDERLAYMENT	REQUIRED	
FLOOD HAZARDS	FIRM #170214 PANELS 0606H-0609H 12/16/2004	
AIR FREEZING INDEX	AIR FREEZING INDEX	
ANNUAL MEAN TEMPERATURE	49.4 °F	
HEATING DEGREE DAYS (HDD)	6,155	
COOLING DEGREE DAYS (CDD)	942	
CLIMATE ZONE	5A	
INDOOR DESIGN CONDITIONS	MAX. 76° F - HEATING	
	MIN. 76° F - COOLING	
INDEX OF DRAWINGS		
A1.01	COVER PAGE & GENERAL NOTES	
A1.02	DEMOLITION & NEW WORK PLANS	
A1.03	ELEVATIONS, SECTION, ELECTRICAL PLAN	



1 OCCUPANCY PLAN
2 scale: 1/4" = 1'-0"

ARCHITECT:
T. KIRKBY
6874 N. NW HWY
CHICAGO, IL 60631
773.225.7166

CONTRACTOR:
TBD

OWNER:
City of Evanston

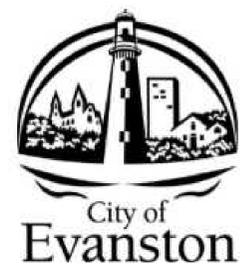
DOCUMENT DATE:
November 25, 2025

DRAWN BY:
TK

CHECKED BY:
SC

JOB#:
2025.02

- ▲ 11.20.2025 ISSUED FOR PERMIT
- ▲ 01.06.2026 REVISIONS 1
- ▲ 03.31.2026 ADDENDUM 2
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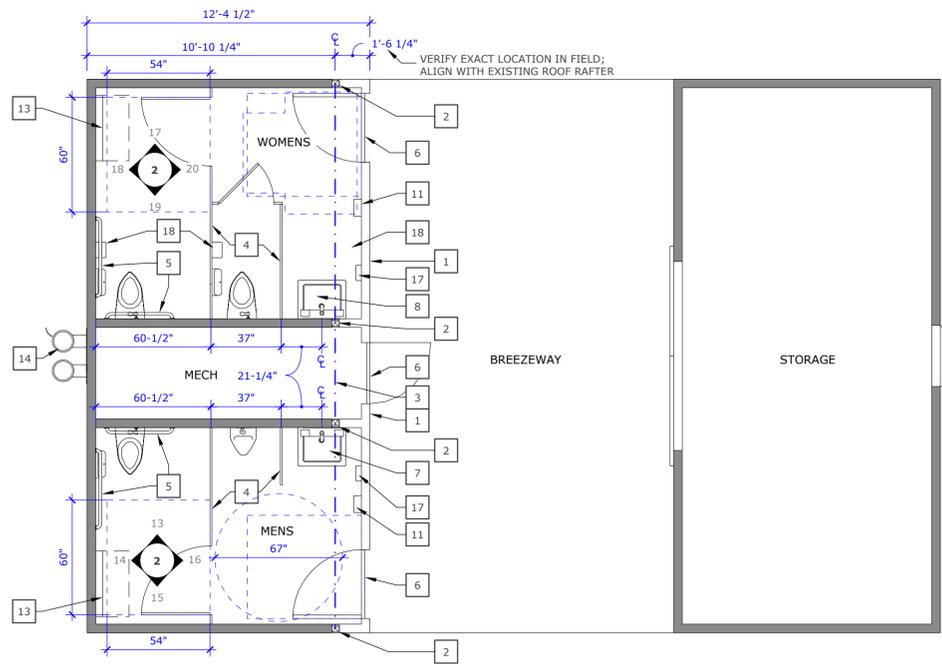
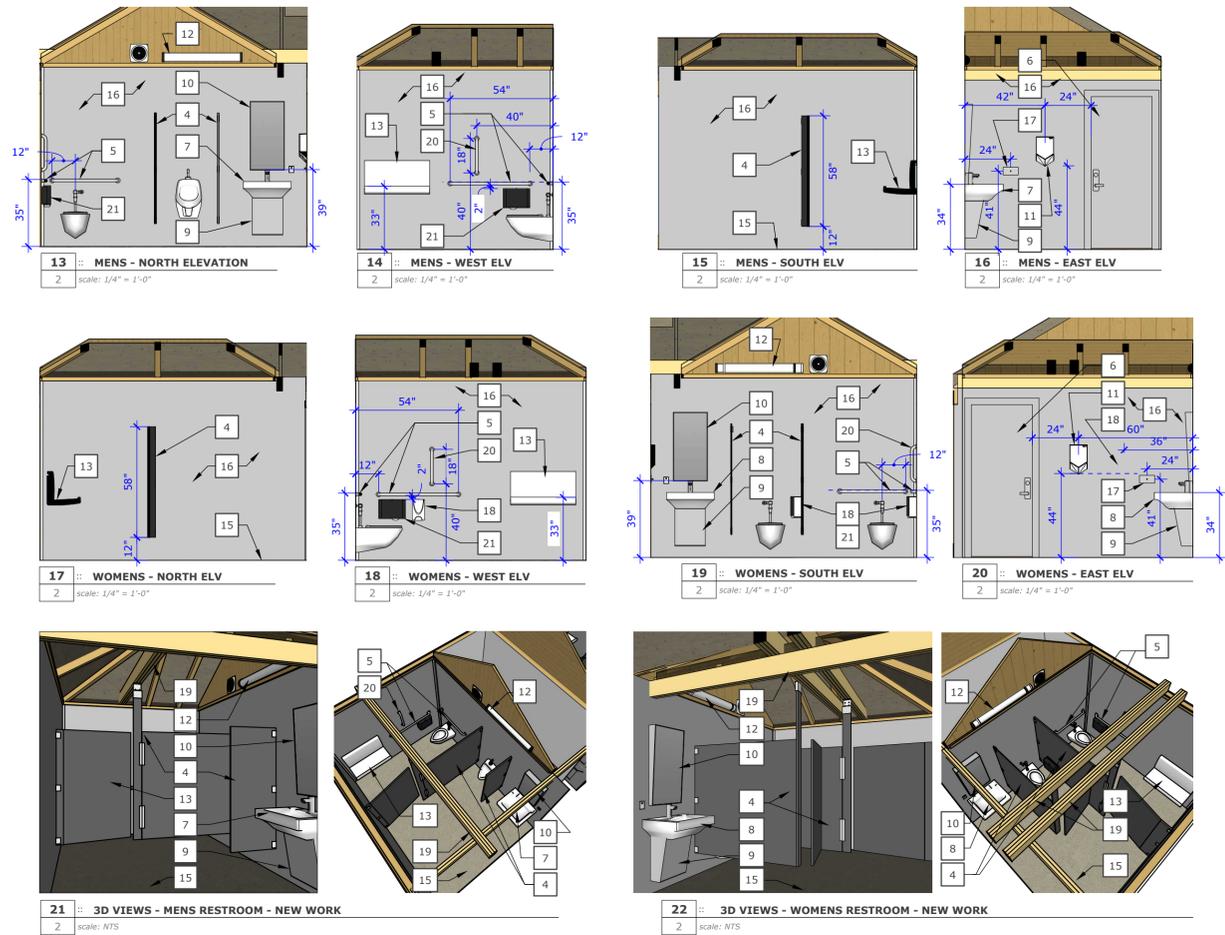


City of Evanston
Public Works Agency

A1.01

COVER PAGE & GENERAL NOTES

NEW WORK

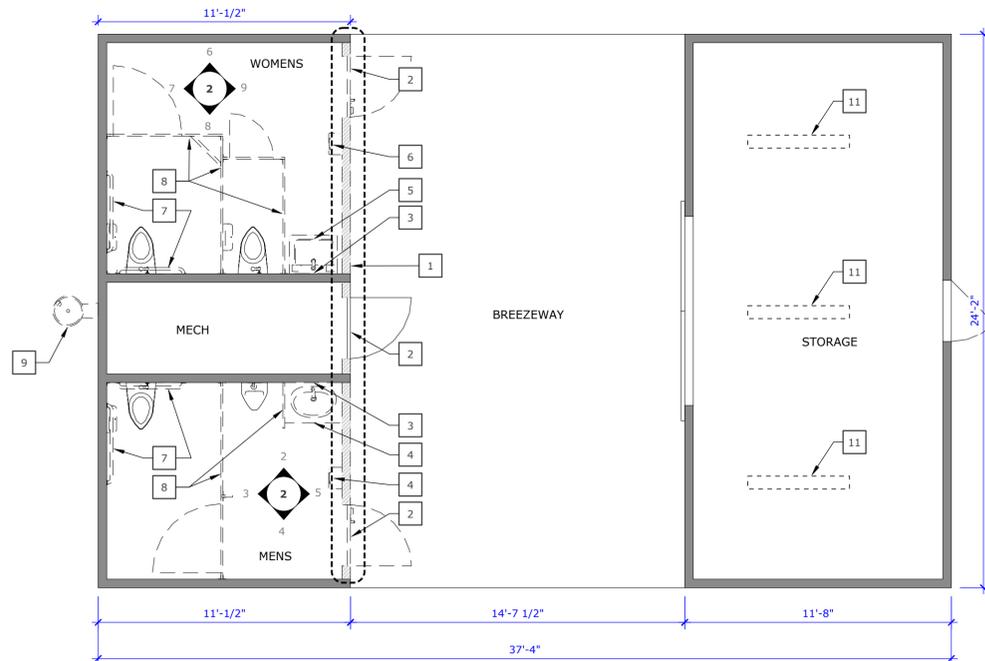
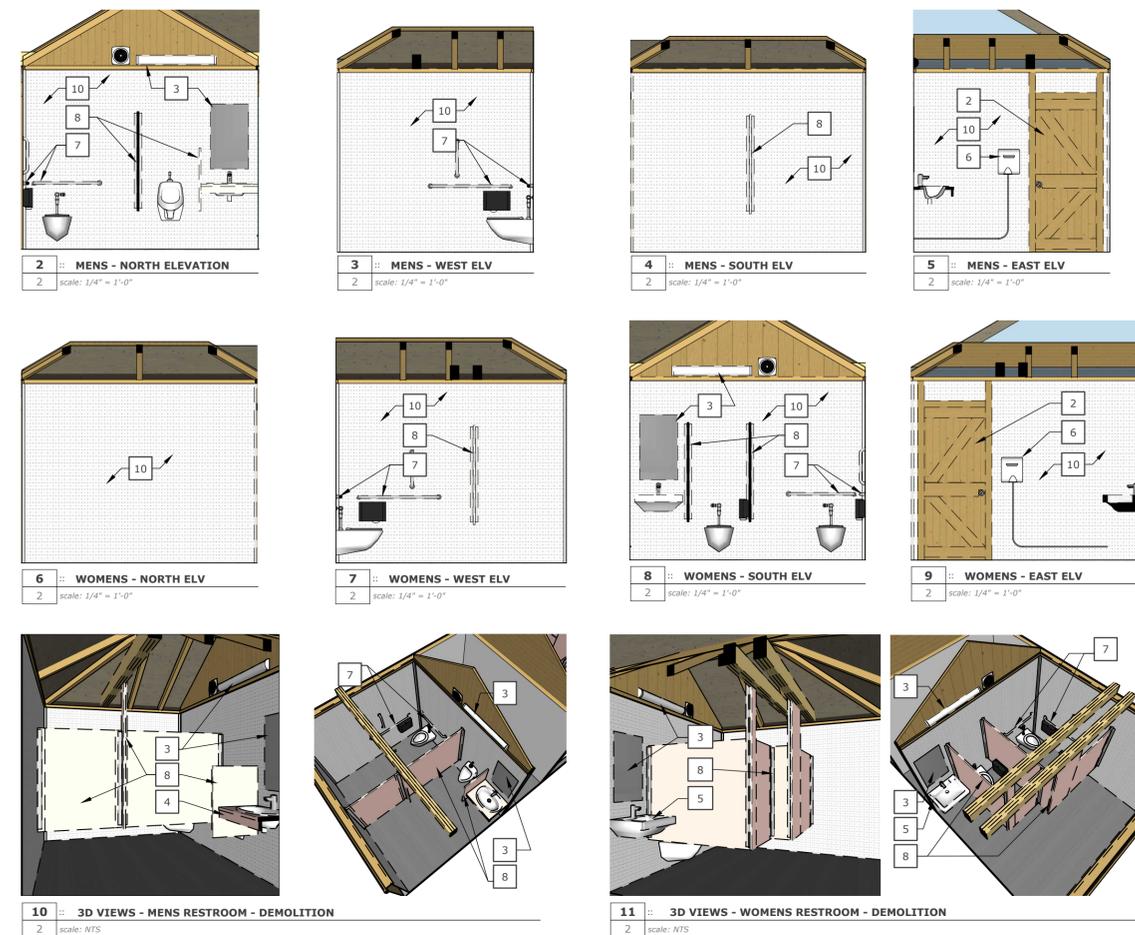


NEW WORK PLAN NOTES

- NEW FULL-HEIGHT 2X4 WALL; CLADDING TO MATCH EXISTING.
- NEW PRESSURE TREATED 4X4 POST.
- (2) 2X8 HEADER SPANS BTWN. NEW POSTS.
- NEW CEILING-MOUNT TOILET PARTITIONS, PER SPEC. COORDINATE W/ EXISTING BEAMS & PROVIDE BLOCKING IN WALLS AS REQ'D FOR SECURLEY ANCHORING PANEL EDGES.
- NEW GRAB BARS & DISPENSERS PER PLANS, ELEVATIONS & SPEC.
- NEW DOOR, FRAME AND HARDWARE, PER SPEC.
- NEW SINK, PER SPEC.
- RE-INSTALL SINK PER NEW PLAN LOCATION.
- NEW UNDERSINK PROTECTION ENCLOSURE, PER SPEC.
- NEW MIRROR, PER SPEC.
- NEW HAND DRYER, PER SPEC.
- NEW LIGHT FIXTURE, PER SPEC.
- NEW BABY CHANGING TABLE, PER SPEC.
- NEW WALL-MOUNT DRINKING FOUNTAIN, PER SPEC. SHALL BE MOUNTED SO THAT SPOUT IS LESS THAN 36" ABOVE THE GROUND.
- ~~NEW POLISHED CONCRETE TOPPING; FLOORS OF MENS AND WOMENS RESTROOMS.~~
- NEW FRP WALL PANELING OVER 5/8" EXTERIOR GRADE PLYWOOD SHEATHING, ALL INTERIOR WALLS OF MENS AND WOMENS RESTROOMS, PER SPEC.
- NEW SOAP DISPENSER, PER SPEC.
- NEW FEMINE HYGIENE DISPENSER
- REPLACE (3)2X8 W/ NEW, LONGER (3)2X8 BEARING ON NEW EAST WALL.
- NEW SIDE-WALL GRAB BAR, PER ELEVATION.
- TOILET PAPER DISPENSER, OWNER PROVIDED, CONTRACTOR INSTALLED.

SEE ADDENDUM 2 FOR RESTROOM FLOORS

DEMOLITION



DEMOLITION NOTES

- REMOVE EXISTING WOOD FRAME WALL. PROVIDE TEMPORARY SHORING AS REQUIRED.
- REMOVE EXISTING DOOR.
- REMOVE EXISTING MIRROR & LIGHT.
- REMOVE EXISTING SINK & COUNTERTOP.
- REMOVE EXISTING SINK, RETAIN FOR RE-USE.
- REMOVE EXISTING HAND DRYER.
- REMOVE EXISTING GRAB BARS & DISPENSERS.
- REMOVE EXISTING CEILING-MOUNT TOILET PARTITIONS.
- REMOVE EXISTING DRINKING FOUNTAIN.
- REMOVE EXISTING PLASTIC WALL COVERING FROM ALL INTERIOR WALLS.
- REMOVE EXISTING CEILING-HUNG LIGHT FIXTURES.

Leahy Park Fieldhouse Renovation

11.20.2025 ISSUED FOR PERMIT
01.06.2026 REVISIONS 1
03.31.2026 ADDENDUM 2





1 :: SOUTH ELEVATION
3 scale: NTS



2 :: WEST ELEVATION
3 scale: NTS



5 :: BREEZEWAY ELEVATION
3 scale: NTS



6 :: WEST EXTERIOR
3 scale: NTS



3 :: NORTH ELEVATION
3 scale: NTS



4 :: EAST ELEVATION
3 scale: NTS



7 :: SOUTH EXTERIOR
3 scale: NTS



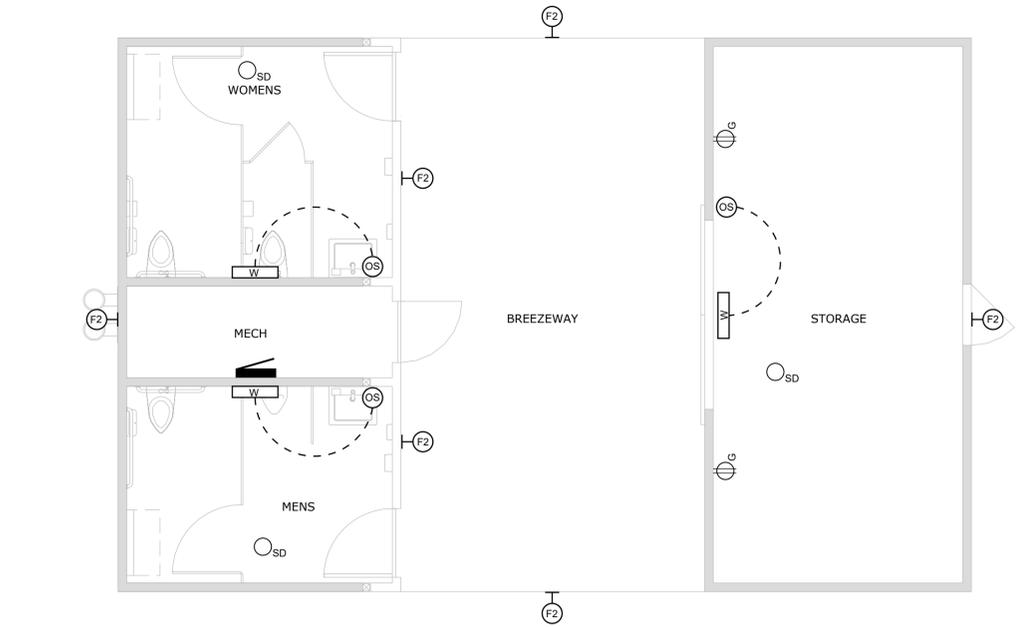
8 :: BREEZEWAY CEILING
3 scale: NTS



9 :: STORAGE ROOM
3 scale: NTS

NOTES

- 1 PAINT ALL SIDING & TRIM, PER SPEC.
- 2 REPLACE W/ NEW 1X8 BASE TRIM
- 3 REPLACE DAMAGED SIDING PIECE
- 4 REPLACE WALL SCONCE LIGHT, PER SPEC.
- 5 NEW DOOR, HARDWARE AND FRAME, PER SPEC.
- 6 PAINT BREEZEWAY CEILING AND RAFTERS.
- 7 NEW WALL-MOUNT DRINKING FOUNTAIN, PER SPEC. SHALL BE MOUNTED SO THAT SPOUT IS LESS THAN 36" ABOVE THE GROUND.
- 8 REPLACE LIGHTS, PER SPEC. (SEE PHOTO 9/SHEET 3)
- 9 NEW GUTTERS, DOWNSPOUTS & SPLASH BLOCKS, PER SPEC.
- 10 RELOCATE PLAQUE TO SAME LOCATION ON NEW WALL.



10 :: ELECTRICAL PLAN
2 scale: 1/4" = 1'-0"

ELECTRICAL NOTES

- 1 ELECTRICAL SCOPE LIMITED TO REPLACING EXISTING FIXTURES W/ LED FIXTURES, RE-USING EXISTING WIRING / CONDUIT EVERYWHERE EXCEPT FOR HAND DRYERS AND WALL SCONCES WHICH MOVE FROM EXISTING BREEZEWAY WALL TO NEW BREEZEWAY WALL.
- 2 EXTERIOR FIXTURES TO BE CONTROLLED BY DAYLIGHT-SENSING PHOTOCELL.

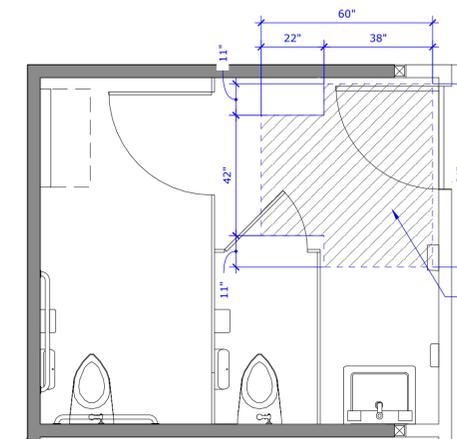
ELECTRICAL KEY

- SD SMOKE DETECTOR
- G GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLE OUTLET
- DUPLEX RECEPTACLE OUTLET
- SWITCH
- ELECTRICAL PANEL
- F1 WALL MOUNTED LIGHT
- F2 WALL SCONCE FIXTURE
- OS OCCUPANCY SENSOR

CONSTRUCT NEW FULL-HEIGHT WALL, EAST OF EXISTING WALL PER PLANS. RE-USE EXISTING CLADDING & TRIM IF POSSIBLE; OTHERWISE MATCH NEW TO EXISTING.

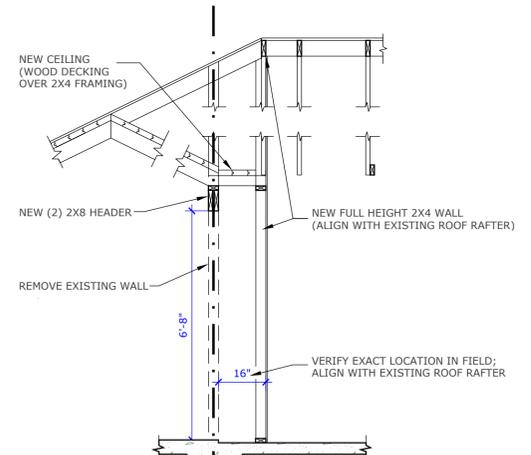


11 :: BREEZEWAY ELEVATION
3 scale: NTS

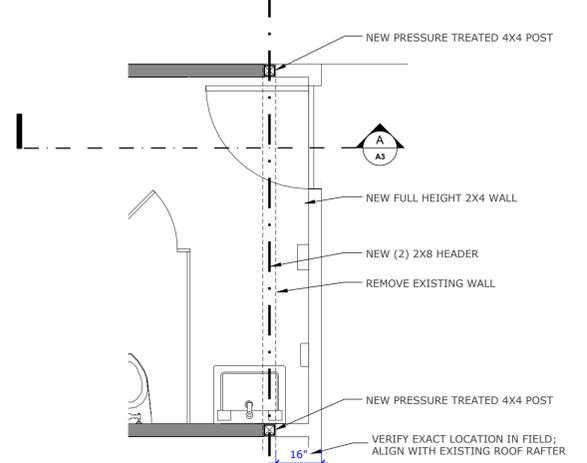


14 :: ENLARGED WOMENS RESTROOM PLAN
3 scale: 3/8" = 1'-0"

TURNING SPACE PROVIDED PER 2017 ICC A117.1 FIGURE 304.3.2.1(B) T-SHAPED SPACE NEW BUILDINGS - OPTION 2



12 :: SECTION A
3 scale: 1/2" = 1'-0"



13 :: PARTIAL FLOOR PLAN
3 scale: 1/2" = 1'-0"



ARCHITECT:
T. KIRKBY
6874 N. NW HWY
CHICAGO, IL 60631
773.225.7166

CONTRACTOR:
TBD

OWNER:
City of Evanston

2404 Lincoln St, Evanston, IL 60201

DRAWN BY:
TK

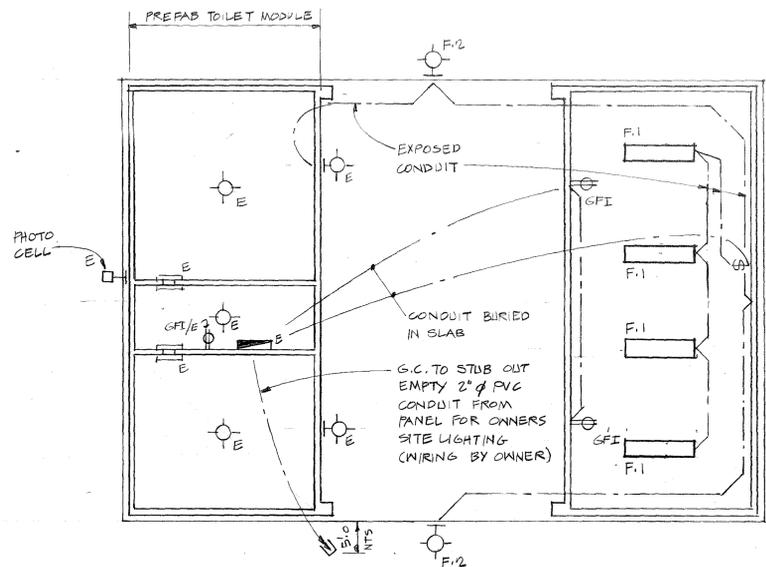
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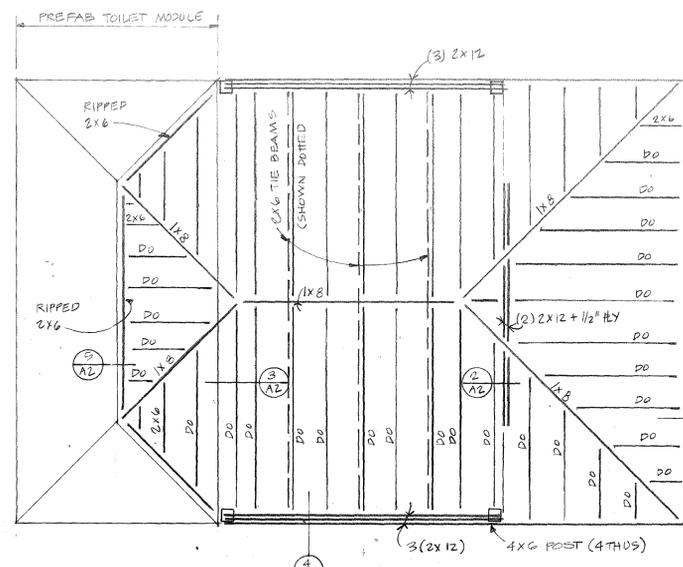
Leahy Park Fieldhouse Renovation

- ▲ 11.20.2025 ISSUED FOR PERMIT
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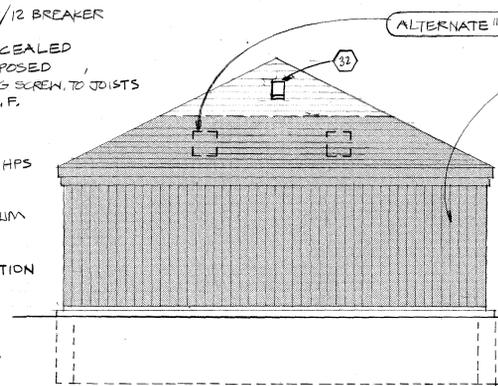


3 LIGHTING & POWER PLAN
1/4" = 1'-0"

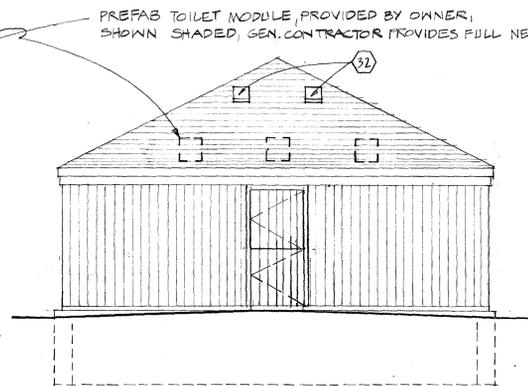
- ELECTRICAL NOTES:**
- PANEL IN PREFAB UNIT IS 100 AMP/12 BREAKER
 - ALL CONDUIT TO BE EXT
 - CONDUIT SHOWN CURVED = CONCEALED
 - CONDUIT SHOWN STRAIGHT = EXPOSED
 - F1 = KENALL 7200 SERIES/LAG SCREEN TO JOISTS
1X4/2 TUBE ; 9'-0 A.F.F.
OUTSIDE BALLEST
PROVIDE LAMPS
 - F2 = LUMAX INDUSTRIES 300-100 HPS
W/POLYCARB SHIELD &
TAMPER-PROOF SCREENS
100 WAT HIGH PRESSURE SODIUM
PROVIDE STEEL COLLAR
& NEOPRE GASKET FOR
OUTDOOR/SURFACE APPLICATION
PROVIDE LAMPS
 - ITEMS NOTED "E" ARE PART
OF THE PREFABRICATED
TOILET MODULE
 - SERVICE DROP TO THE BUILDING
WILL BE BY THE CITY OF
EVANSTON
 - UNDER-SLAB PVC LEAD-IN
MATERIAL BY OWNER
INSTALL BY GEN. CONTR.
(SEE DRG. # 4/ THIS SHEET)



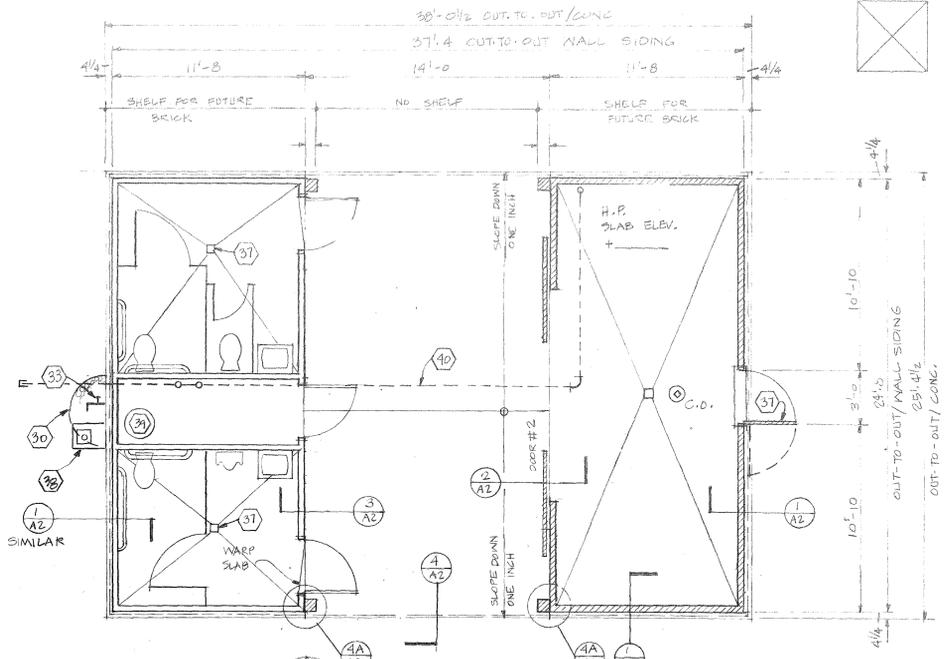
2 ROOF FRAMING PLAN
1/4" = 1'-0"



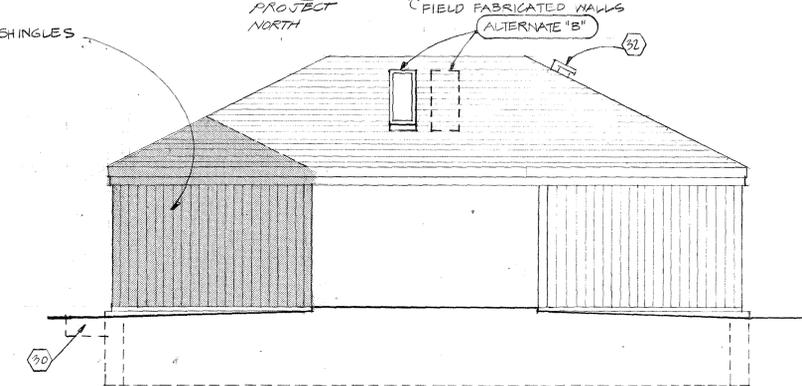
C WEST ELEVATION
1/4" = 1'-0"



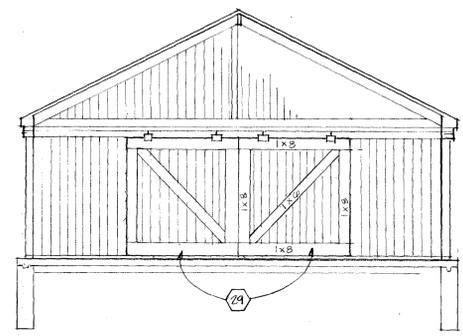
B EAST ELEVATION
1/4" = 1'-0"



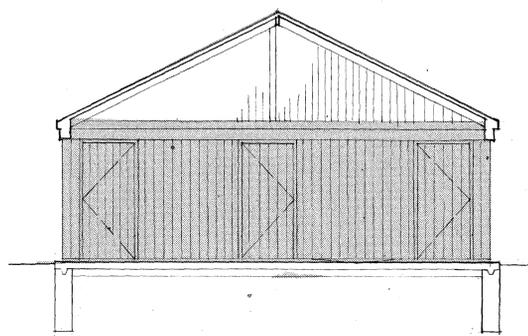
1 PLAN
1/4" = 1'-0"



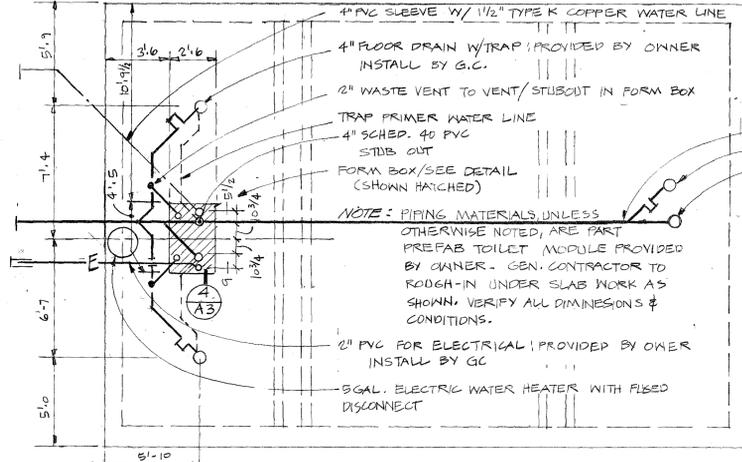
A SOUTH ELEVATION/NORTH ELEVATION SIMILAR/ OPPOSITE HAND
1/4" = 1'-0"



E SECTION/LOOKING EAST
1/4" = 1'-0"



D SECTION/LOOKING WEST
1/4" = 1'-0"

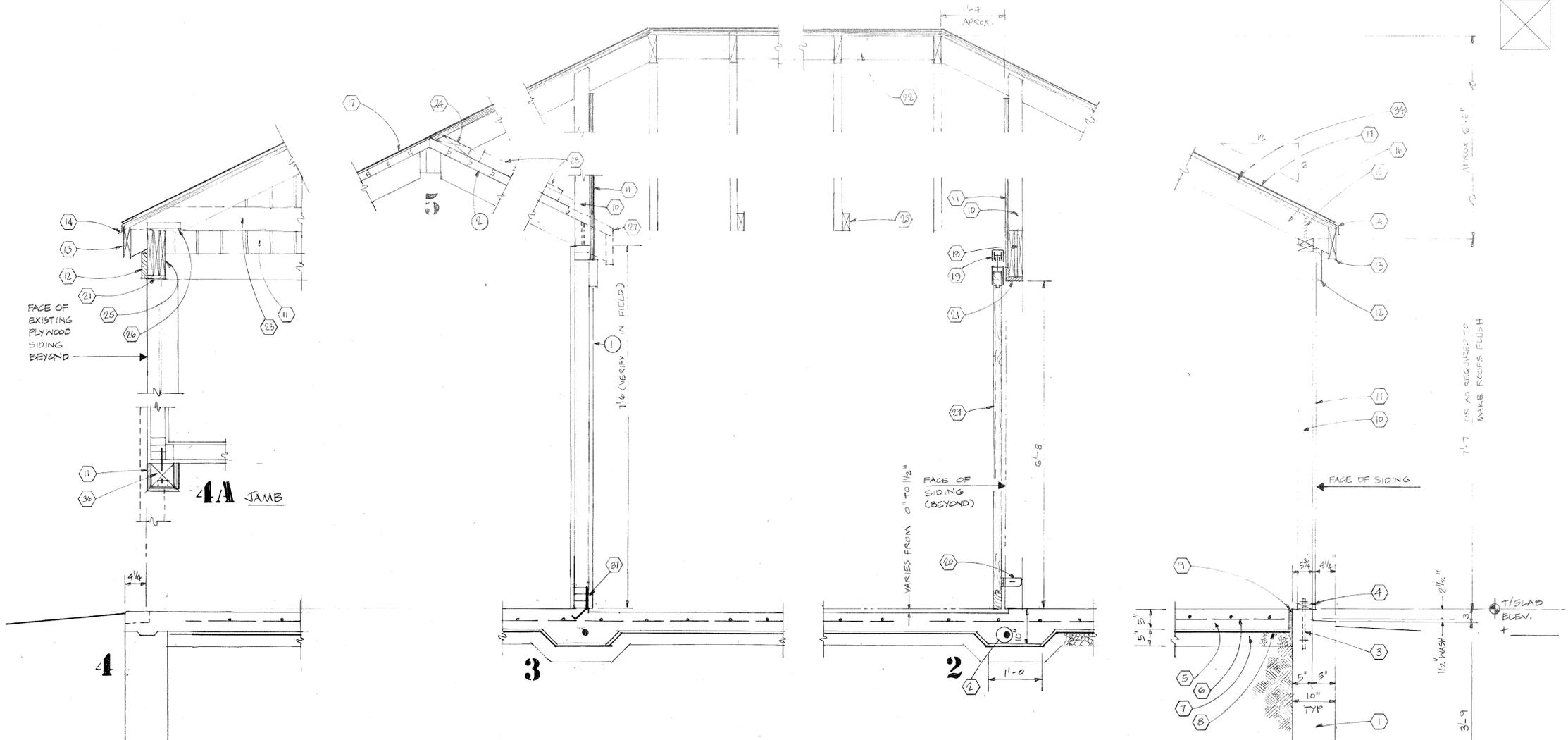


4 SLAB PLAN
1/4" = 1'-0"

1. CONTRACTOR MUST VERIFY ALL DIMENSIONS & CONDITIONS IN THE FIELD & AT ACTUAL PRE-FAB UNIT.
2. PROVIDE & INSTALL HOSE BIBB/ITEM (33)
3. PROVIDE & INSTALL 5 GAL. ELECTRIC WATER HEATER & RELATED PIPING. PROVIDE FUSED DISCONNECT./ITEM (39)
4. PROVIDE & INSTALL WATER FOUNTAIN/ITEM (38)
5. PROVIDE & INSTALL UNDER-SLAB GAS ROUGH-IN FOR FUTURE GAS HEAT./ITEM (40): PLAN NO. 1 THIS SHEET

JULY 24, 1989
JULY 10, 1989
FRYE GILLAN MOLINARO
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City of Evanston
Leahy Park Shelter



BID ALTERNATES

TO BE LISTED OUT AS SEPERATE ITEMS ON CONTRACTOR'S BID PROPOSAL FORM

ALTERNATE "A":

FURNISH & INSTALL FIVE (5) 22 1/2 x 22 1/2" POLYCARBONATE PLASTIC SKYLIGHTS WITH ANODIZED ALUM. FRAMES. SEE ELEVATIONS "B" & "C"/SHEET A-1.

ALTERNATE "B":

REINSTALL 48" x 22 1/2" EXISTING SKYLIGHTS. SEE SECTION "3" THIS SHEET & ELEVATION "A"/SHEET A-1.

ALTERNATE "C":

FURNISH & INSTALL 1/2" "THERMICAL" ROOF INSULATION OVER ENTIRE ROOF SURFACE. AS MANUFACTURED BY CORNELL CORP
PO. BOX 338
CORNELL WISC. 54732
(715) 239-6411

ALTERNATE "D":

FURNISH & INSTALL 340 LB. ROOF SHINGLES IN LIEU OF ITEM 11

ALTERNATE "E":

FURNISH & INSTALL FACE BRICK VENEER ON ELEVATIONS "A" (TWO THUS), "B", & "C". NO BRICK @ SECTIONS "D" & "E". ALL AS DRAWN ON SHEET A-1. SEE DETAIL #7/SHEET A-3
BRICK TO BE:
"CAMBRIDGE SMOOTH (BLEND)"
LORENZ & SONS
18307 TORRENCE AVE.
LANSING 60438
(312) 474-0055
OR OWNER APP'V'D. EQUAL

ALTERNATE "F":

PROVIDE 2x6 YELLOW PINE PRESSURE TREATED SLIDING DOORS WITH 2x6 T&G TOP & BOTTOM RAILS TO MATCH EXISTING; IN LIEU OF ITEM 29

**PREFAB TOILET MODULE
FURNISHED BY OWNER/ DELIVERED BY OWNER
INSTALLED BY GENERAL CONTRACTOR**

- 1 PLYWOOD SIDING ON WOOD STUD FRAMING
- 2 WOOD T&G ROOF DECK
- 3 PLASTIC COATED PLYWOOD

NEW WORK: (CONTINUED)

- 35 PVC OPEN SITE DRAIN/STRAP TO FACE OF SIDING
- 36 6x6 TREATED POST/LAG BOLT INTO WALL FRAMING WITH (3) 10" x 3/8" GALV. LAG BOLTS. SET POSTS IN CAST ALUM. BASES
- 37 DITCH DOOR/ 2x6 NO.1 OR BETTER SOUTHERN YELLOW PINE PRESSURE TREATED W/ 2x6 T&G TOP & BOTTOM RAILS (4). MATCH EXISTING CONSTRUCTION. 2 PR. 4 1/2 x 4 1/2 S.S. HINGES. 2 SETS SURFACE BOLTS. ONE "BEST" HIGH SECURITY TUBULAR DEAD BOLT. ONE C.I. FULL KEY DEAD BOLT TO MATCH OWNER'S PAD LOCKS.
- 38 NEW EXTERIOR WATER FOUNTAIN ELKAY NEEDPP-14-C STAINLESS STEEL FINISH PUSH BAR
- 39 CP-14 BOTTOM COVER PLATE COMPLETE C.I.N. HOOK-UP BY G.C. OPEN SITE DRAIN INTO ITEM #30 PROVIDE TREATED 2x4 WOOD BACKBLOCKING
- 40 5 GAL. ELECTRIC WATER HEATER W/ FUSED DISCONNECT SWITCH PROVIDE RELATED PLUMBING WORK TO TIE INTO PREFAB MODULE PLUMBING.
- 41 UNDER-SLAB GAS PIPE ROUGH-IN FOR FUTURE GAS CONNECTION; LOOP UP IN UTILITY AREA OF PREFAB UNIT FOR FUTURE METER. USE SCHED. 40 STEEL PIPE COATED PER A6A STANDARDS.

**NEW WORK: FURNISH & INSTALL
BY GENERAL CONTRACTOR (ALSO SEE SHT. A-1
FOR LOCATION OF
ITEMS)**

- 1 3000 PSI STD. WEIGHT CONC.
- 2 #5 REBAR/TYP. 60,000 PSI
- 3 1/2" x 1'-6". ANCHOR BOLT @ 3'-0 TO 4'-0 O.C.
- 4 CONT. TREATED WOOD SILL/ 2x4
- 5 4000 PSI AIR ENTRAINED LT. WT. CONCRETE SLAB W/ BROOM FINISH
- 6 6x6x6 W.W.F
- 7 CRUSHED ROCK/ CA G
- 8 6 MIL VIZQUEEN VAPOR BARRIER/BLACK
- 9 1/2" PREFORMED JOINT FILLER
- 10 EXPOSED 2x4 @ 16" NO.1 OR BETTER SELECT TO AVOID ANY ROUGH CORNERS
- 11 5/8" EXTERIOR PLYWOOD SIDING/TYPICAL PRESSURE TREATED FINE TEXTURE 1-11 (MATCH EXISTING BUILDING)
- 12 2x10 TRIM PLATE/ TREATED YELLOW PINE NO.2 OR BETTER
- 13 2x8 FACIA/ TREATED YELLOW PINE NO.2 OR BETTER/ RIP TO MATCH EXISTING
- 14 CONT. 1" x 2" 26 GA. GALV. ROOF EDGE
- 15 GALV. LATH BIRD SCREEN/RABBIT JOIST TO RECEIVE
- 16 2x6 @ 24" ROOF JOIST/TYPICAL YELLOW PINE/NO.2 OR BETTER
- 17 ROOF: 20 YEAR 3-TAB ASPHALT SHINGLES ON 15# BUILDING PAPER/ NEW ROOF OVER ALL ROOF SURFACES/ INCLUDING EXISTING ROOF SURFACE.
- 18 TWO 2x12 + 1/2" EXT. PLYWOOD/ NO.2 YELLOW PINE OR BETTER
- 19 SLIDING DOOR TRACK & TROLLEYS "RICHARDS-WILCOX" N#31 TRACK & N# 020-2 HANGER TWO HANGERS PER DOOR LEAF (TOTAL; 4 HANGERS) APPROX. 24'-0" TRACK ALSO PROVIDE: (2) NO. 54 STAY ROLLERS
- 20 (3) 4 1/2" SECURITY HASPS WITH HINGED SIDE OF HASP LET IN FLUSH WITH INSIDE FACE OF DOOR. MOUNT LOCK BOLT ON JAMB. THIRD HASP TO TIE 2 LEAFS OF DOOR TOGETHER FROM INSIDE. OWNER TO PROVIDE 3 PADLOCKS KEYS ALIKE - G.C. TO PROVIDE DROP BOLT AT CENTER JAMB OF ONE LEAF.

- 21 1x NO.2 OR BETTER YELLOW PINE TRIM @ HEAD & JAMBS
- 22 1x8 RIDGE BEAMS/TYP
- 23 2x6 TIE BEAMS/PROVIDE THREE
- 24 2x6 RIPPED TO BACK-UP ROOF SHEATHING/ALSO PROVIDE AT EXISTING HIP
- 25 (3) 2x12
- 26 GALV. STL. JOIST CONNECTOR
- 27 CUT OF EAVE OF PREFAB UNIT/SHOWN DOTTED
- 28 REMOVE SKYLIGHTS FROM PREFAB UNIT/TURN OVER TO OWNER (OR INSTALL PER ALTERNATE "B")
- 29 SLIDING WOOD DOORS/ TYPICAL PLYWOOD SIDING WITH FACE APPLIED 1x WOOD BRACING. FASTEN BRACING TO PLYWOOD WITH 1 1/2" NO.10 C.I.S. GALV. SCREWS. FEEN OVER ANY PROJECTING SCREEN TIPS. (ALSO SEE ALTERNATE "F")
- 30 2'-0" RAD. x 1'-0" DEEP HOLE FILLED W/ 3/8" TO 3/4" WASHED CRUSHED ROCK
- 31 TREATED WOOD BACKBLOCKING ADDED TO PREFAB WALL. REMOVE & REPLACE PLYWOOD SIDING AS REQUIRED TO INSTALL BACKBLOCKING.
- 32 PAINTED, GALV. METAL ROOF VENTS
- 33 (SEE PLAN #1/SHEET A-1) HOSE BIBB: WALL FADGET; KEY OPERATED WOODFORD MODEL #65 SERIES W/ VACUUM BREAKER & AUTOMATIC DRAIN PIPING FOR THIS ITEM BY G.C.
- 34 3/4" B-C PLYWOOD ROOF SHEATHING (3 SIDE DOWN) (ALSO SEE ALTERNATE "C")

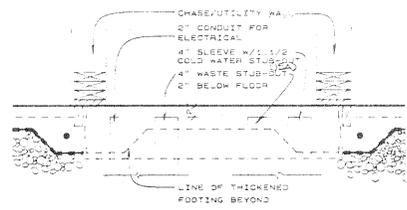
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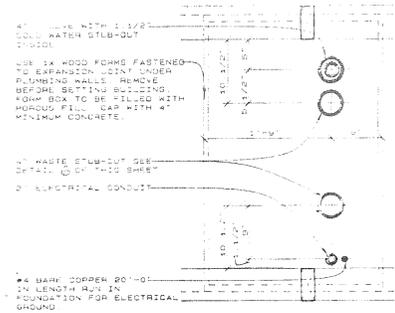
DETAILS & NOTES

A.2

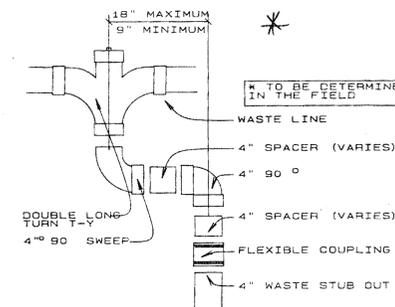
John Gillan
8-8-89



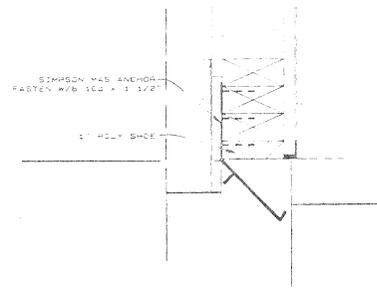
4 SECTION AT FORM BOX
SCALE: 1"=1'-0"



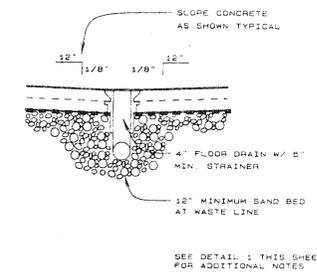
3 PLAN VIEW AT FORM BOX
SCALE: 1"=1'-0"



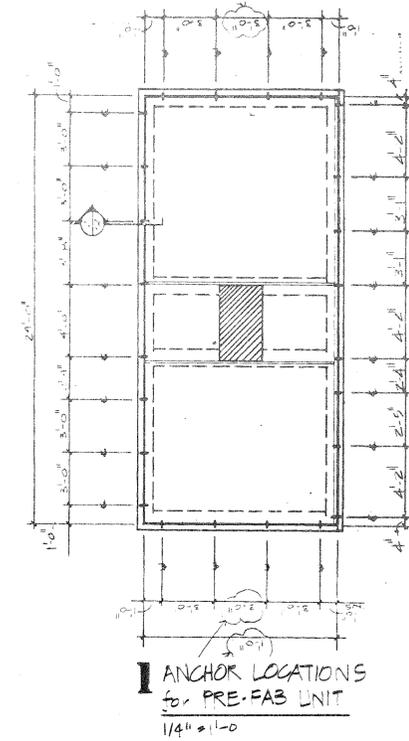
6 WASTE CONNECTION
SCALE: 1"=1'-0"



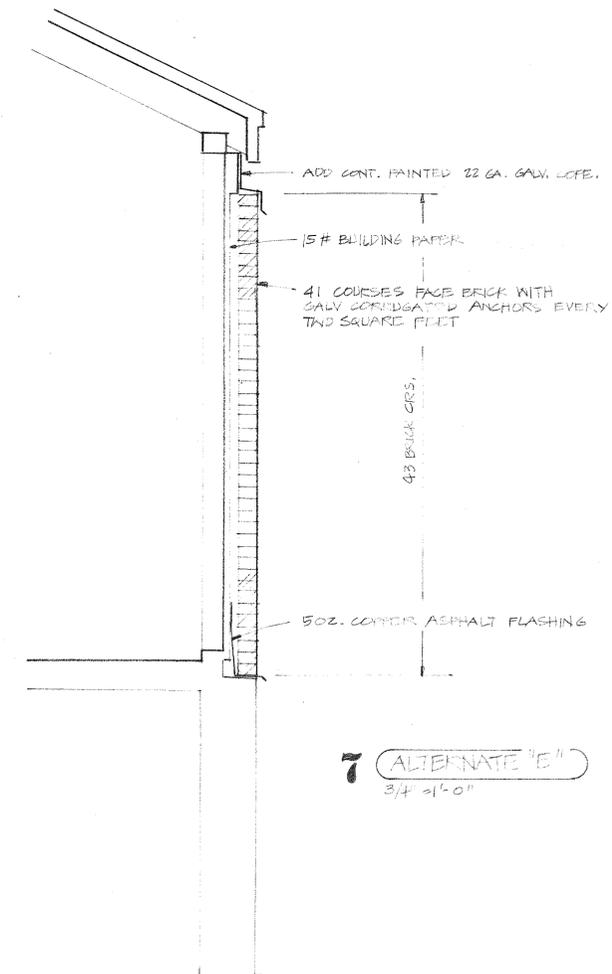
2 BUILDING ANCHOR
SCALE: 3"=1'-0"
(for Prefab Unit)



5 SECTION AT FLOOR DRAIN
SCALE: 1"=1'-0"



1 ANCHOR LOCATIONS FOR PREFAB UNIT
1/4"=1'-0"



7 ALTERNATE "E"
3/4"=1'-0"

JULY 24, 1989
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CITY OF EVANSTON
LEAHY PARK SHELTER

DETAILS

A-3

Handwritten signature and date: J. B. 8-89